



CITY OF AUSTIN Development SERVICES DEPARTMENT

Residential Review – One Texas Center
505 Barton Springs Road, Austin, TX 78704; (512) 978-4000

Residential New Construction and Addition Permit Application

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Property Information

Project Address: 901 Spence St Tax Parcel ID: 02030403060000 (Parcel 1 of 1) Geo ID: 000000190923
Legal Description: LOT 6 BLK 1 OLT 43 DIV O SPENCE ADDN
Zoning District: SF3 Lot Area (sq ft): 6,098.40
Neighborhood Plan Area (if applicable): E Ceaser Chaves Historic District (if applicable): Spence Willow Natl

Required Reviews

Is project participating in S.M.A.R.T. Housing? Y ☐ N (If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)
Does project have a Green Building requirement? Y ☐ N (If yes, attach signed conditional approval letter from Austin Energy Green Building)
Is this site within an Airport Overlay Zone? Y ☐ N (If yes, approval through Aviation is required)
Does this site have a septic system? ☐ Y N (If yes, submit a copy of approved septic permit)
Does the structure exceed 3,600 square feet total under roof? Y ☐ N (If yes, Fire review is required)
Is this property within 200 feet of a hazardous pipeline? Y ☐ N (If yes, Fire review is required)
Is this site located within an Erosion Hazard Zone? Y ☐ N (If yes, EHZ review is required)
Is this property within 150 feet of the 100 year floodplain? Y ☐ N (Proximity to floodplain may require additional review time.)
Is there a protected sized tree on this lot or adjacent lot(s)? ☐ Y N (If yes, application for a tree permit with the City Arborist is required)
Note: Include tree location(s) on plot plan.
Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) ☐ Y N
Does this site currently have: water availability? ☐ Y N (If no, contact Austin Water Utility to apply for wastewater availability? Y N water/wastewater taps and/or service extension request.)
Are there existing water/wastewater infrastructure, appurtenances or existing water/wastewater easements located on site? Y ☐ N (If yes, contact Austin Water Utility Pipeline Engineering for review and approval)
Does this site have or will it have an auxiliary water source? Y ☐ N (If yes, submit approved auxiliary and potable plumbing plans.) (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)
Does this site require a cut or fill in excess of four (4) feet? Y ☐ N (If yes, contact the Development Assistance Center for a Site Plan Exemption)
Is this site within the Waterfront Overlay? Y ☐ N (LDC 25-2 Subchapter C Article 3)
Is this site within the Lake Austin Overlay? Y ☐ N (LDC 25-2-180, 25-2-647)
Does this site front a paved street? ☐ Y N (If no, contact Development Assistance Center for Site Plan requirements.)
Is this site adjacent to a paved alley? ☐ Y N (Public Works approval required to take access from a public alley.)
Does this site have a Board of Adjustment (BOA) variance? Y ☐ N Case # _____ (if applicable)
Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? Y ☐ N (If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)

Description of Work

Is Total New/Added Building Area > 5,000 Sq Ft? Y ☐ N (If yes, construction material recycling is required per LDC 25-11-39)
Existing Use: vacant ☐ single-family residential duplex residential two-family residential other: _____
Proposed Use: vacant ☐ single-family residential duplex residential two-family residential other: _____
Project Type: new construction addition ☐ addition/remodel other: _____
Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? ☐ Y N (Note: Removal of all or part of a structure requires a demolition permit application.)
existing bedrooms: 2 # bedrooms upon completion: 5 # baths existing: 1.0 # baths upon completion: 4.5
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.)
Remodel of existing 1910s era house with addition and attic buildout. Also an ADU with alley access.

Trades Permits Required (Circle as applicable): ☐ electric ☐ plumbing ☐ mechanical (HVAC) concrete (R.O.W.)

Job Valuation		
Total Job Valuation: \$ <u>257,000</u>	Amount of Total Job Valuation dedicated to all Addition and/or New Construction: \$ <u>145,000</u>	Amount of Total Job Valuation dedicated to all Remodel/Repair: Bldg: \$ <u>70,000</u> Elec: \$ <u>14,000</u> Plmbg: \$ <u>16,000</u> Mech: \$ <u>12,000</u> TOTAL: \$ <u>112,000</u>
Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar. Permit fees are based on adopted fee schedule.	Amount for Primary Structure: \$ <u>15,000</u> Elec: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Mech: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N	
	Amount for Accessory Structure: \$ <u>130,000</u> Elec: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Mech: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N	

Please utilize the Calculation Aid on the last page of the Additional Information, page 7, as a guide to complete the following calculations and to provide supplemental information for thorough review.

Site Development Information						
Area Description Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.	Existing Sq Ft		New/Added Sq Ft		Total Sq Ft	
	Bldg 1	Bldg 2	Bldg 1	Bldg 2	Bldg 1	Bldg 2
a) 1 st Floor conditioned area	1,204.00		172.00	544.00	1,376.00	544.00
b) 2 nd Floor conditioned area				483.00	0.00	483.00
c) 3 rd Floor conditioned area					0.00	0.00
d) Basement					0.00	0.00
e) Covered parking (garage or carport)					0.00	0.00
f) Covered patio, deck, porch, and/or balcony area(s)	261.00				261.00	0.00
g) Other covered or roofed area					0.00	0.00
h) Uncovered wood decks				150.00	0.00	150.00
Total Building Area (total a through h)	1,465.00	0.00	172.00	1,177.00	1,637.00	1,177.00
i) Pool					0.00	0.00
j) Spa					0.00	0.00
k) Remodeled Floor Area, excluding Addition / New Construction	—	—	—	—		

Building Coverage Information

Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)

Total Building Coverage (sq ft): 2,321.00 % of lot size: 38

Impervious Cover Information

Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)

Total Impervious Cover (sq ft): 2,704.12 % of lot size: 44

Setbacks

Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492) ☒ Y ☐ N
Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) ☐ Y ☒ N
Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778) ☒ Y ☐ N

Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)

Building Height: 21 ft in Number of Floors: 2

Parking (LDC 25-6 Appendix A & 25-6-478)

of spaces required: 2 # of spaces provided: 2

Right-of-Way Information

Is a sidewalk required for the proposed construction? (LDC 25-6-353) ☐ Y ☒ N

*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.

Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? ☐ Y ☒ N

Width of approach (measured at property line): ft Distance from intersection (for corner lots only): ft

Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? ☐ Y ☒ N
(If yes, drainage review is required)

Subchapter F

Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

	Existing Sq Ft	New/Added Sq Ft	Proposed Exemption (check article utilized)	Applied Exemption Sq Ft	Total Sq Ft
1 st Floor	1,204.00	1,199.00			2,403.00
2 nd Floor					0.00
3 rd Floor					0.00
Area w/ ceilings > 15'			Must follow article 3.3.5		0.00
Ground Floor Porch* (check article utilized)	141.00	260.00	<input type="checkbox"/> Full Porch sq ft (3.3.3 A) <input checked="" type="checkbox"/> 200 sq ft (3.3.3 A 2)	401.00	0.00
Basement			Must follow article 3.3.3B, see note below		0.00
Attic		968.00	Must follow article 3.3.3C, see note below	968.00	0.00
Garage**: (check article utilized)	Attached		<input type="checkbox"/> 200 sq ft (3.3.2 B 1)		0.00
	Detached		<input type="checkbox"/> 450 sq ft (3.3.2 A 1 / 2a) <input type="checkbox"/> 200 sq ft (3.3.2 B 2a / 2b)		0.00
Carport**: (check article utilized)	Attached		<input type="checkbox"/> 450 sq ft (3.3.2 A 3) <input type="checkbox"/> 200 sq ft (3.3.2 B 1)***		0.00
	Detached		<input type="checkbox"/> 450 sq ft (3.3.2 A 1)		0.00
Accessory Building(s) (detached)					0.00
Totals	1,345.00	2,427.00			2,403.00

TOTAL GROSS FLOOR AREA (add Total Sq Ft column) 2,403.00

(Total Gross Floor Area ÷ Lot Area) x 100 = 39 Floor-To-Area Ratio (FAR)

Is a sidewall articulation required for this project? Y ☒ N

(Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")? Y ☒ N

(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)

***Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

****Garage and carport exemptions (in relation to primary structure):** Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

*****Ordinance article 3.3.2 B 1** is the only 200 sq ft exemption that may be combined with a 450 sq ft exemption. Otherwise only one 450 exemption or one 200 sq ft exemption may be taken.

Basement exemption: A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

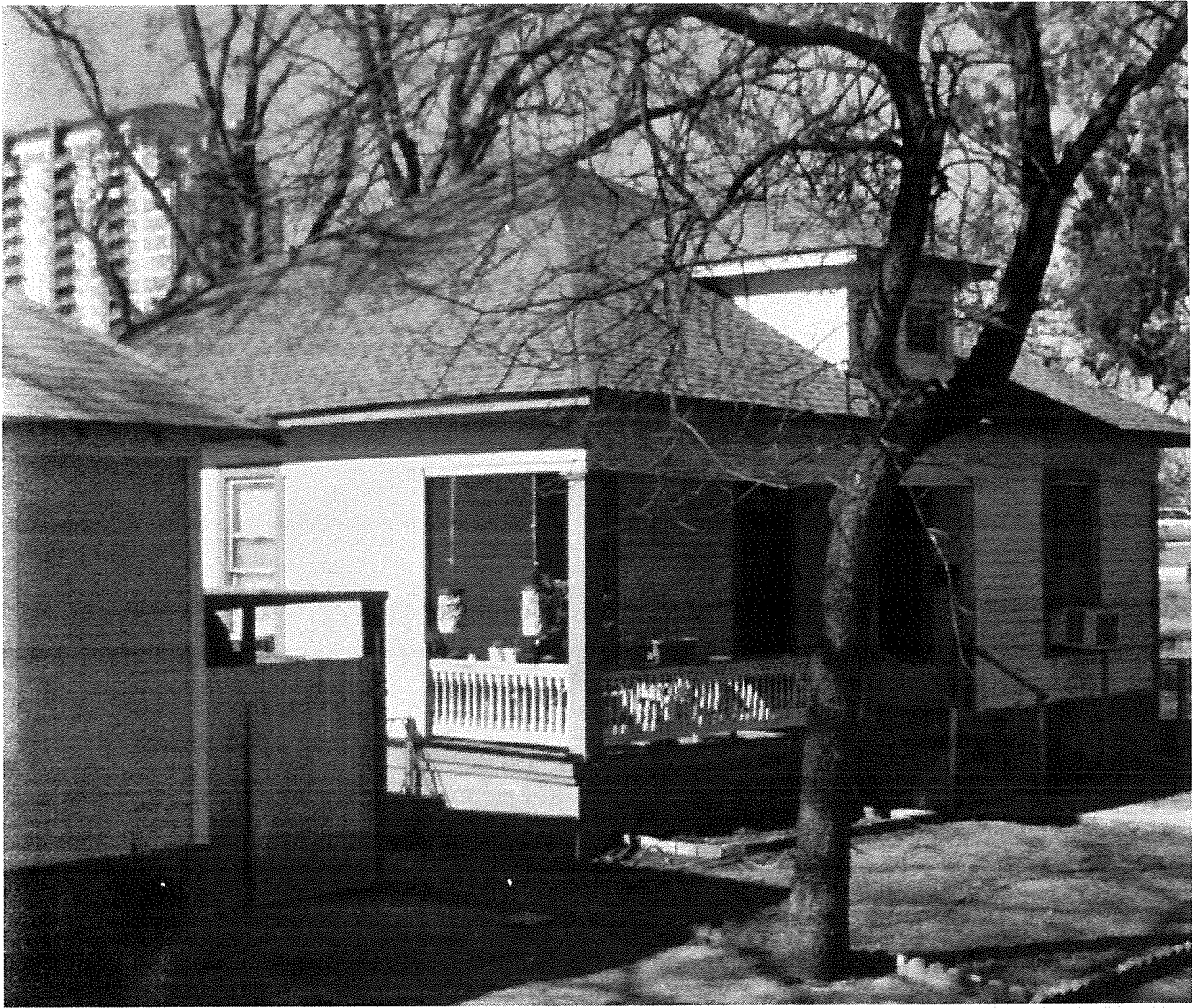
Habitable Attic exemption: A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2) It is fully contained within the roof structure; 3) It has only one floor; 4) It does not extend beyond the footprint of the floors below; 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6) Fifty percent or more of the area has a ceiling height of seven feet or less.

FRONT = No change



WEST side = New DORMER
Kitchen extension off back
where Shed is

EAST = New Dormer



South = extension Back

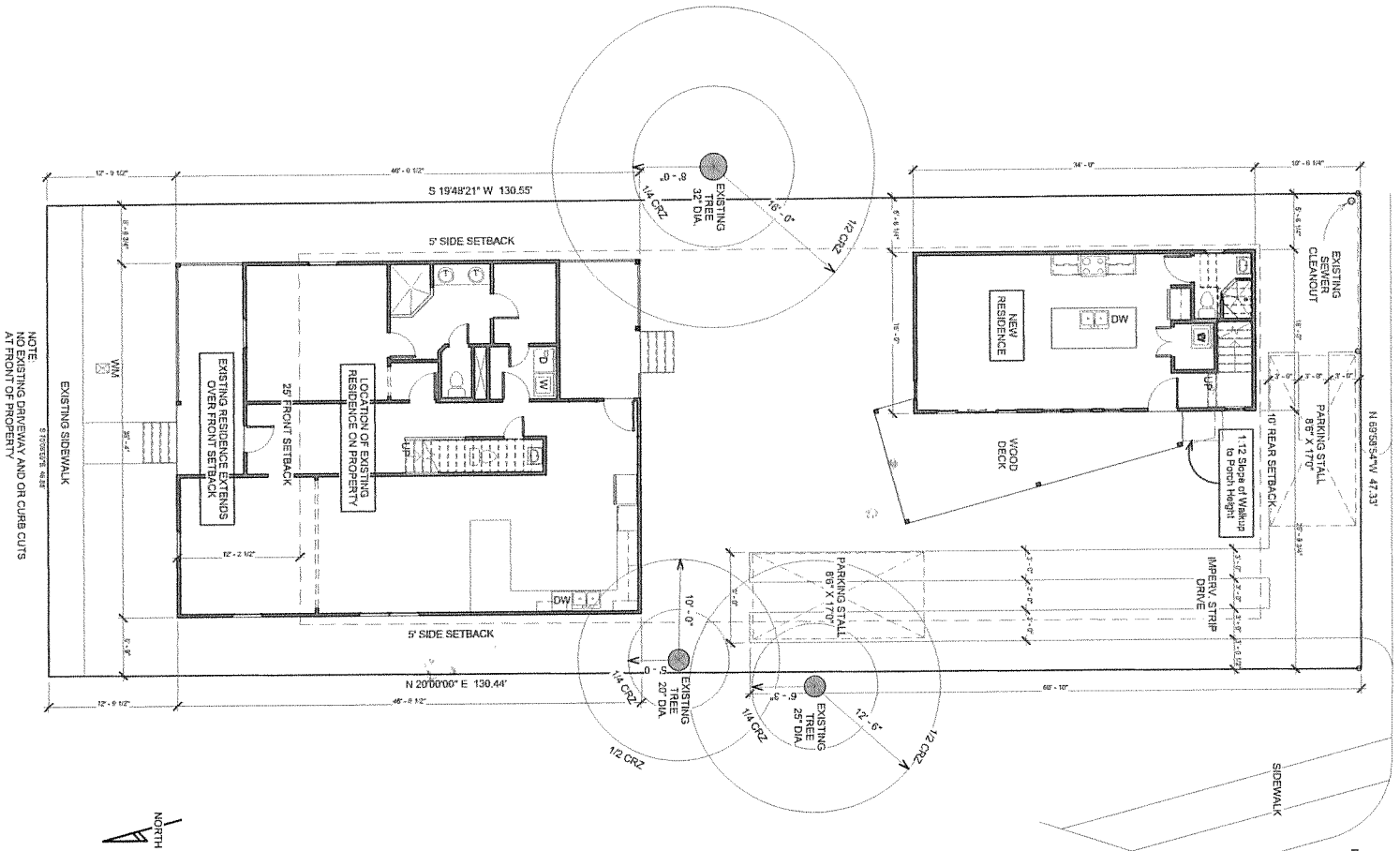
PLOT PLAN - 3 copies

GENERAL FRAMING NOTES:

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR SAME.
2. FRAMING PLANS ARE BASED ON #2 S.Y. PINE WITH E = 1.6M AND F = 1500 PSI. 40 PSI LIVE LOAD FLOORS, 20 PSI LIVE LOAD ROOFS.
3. INSULATION AND VENTILATION OF FLOOR AND CRAWL SPACE (IF ANY) AND ATTIC SPACE TO LOCAL CODE.
4. ALL STUD WALLS TO BE 2X4 NOMINAL @ 16" O.C. WITH HEIGHT AS PER ELEVATION NOTES PER PLATE HEIGHT UNLESS OTHERWISE NOTED. SUCH AS WET WALL LOCATIONS TO BE 2X6 NOMINAL AS SHOWN PER PLANS.
5. SECOND FLOOR FRAMING MINIMUM 1/4" DEEP NOMINAL OPEN ENGINEERED TRUSS @ 16" O.C.
6. DOUBLE FLOOR JOISTS UNDER WALLS PARALLEL TO JOISTS
7. BRIDGING/LOCKING AT MIDSPAN MIN., 8'-0" MAX FOR FLOOR AND CEILING JOIST/TRUSSES.
8. 2X6 RAFTERS @ 24" O.C. W/ 2X6 CONT. PURLINS @ MIDSPAN OF RAFTERS OR 11'-6" MAX (8'-6" FOR JOINS F.L.L. & D.L.) EXCEPTIONS TO INCLUDE 2X8 RAFTERS WHERE CEILING JOISTS FRAME INTO RAFTERS
9. CEILING JOISTS TO BE 2x8 @ 24" O.C. UNLESS OTHERWISE NOTED.
10. 2x6 COLLAR TIES @ 4' O.C.
11. 2x4 (MIN) STRUTS @ 48" O.C. FROM PURLINS TO BEARING WALLS @ 45 DEGREE MIN. ANGLE.
12. RIDGES, VALLEYS, HIPs TO BE 2x6's OR FULL VERTICAL DEPTH OF FRAMING MEMBERS.
13. ADDITIONAL BRACING REQUIRED FOR 23' SPANS AND ABOVE
14. MAX. SILL HGT. @ BDPM, WDWs. TO BE 43" FROM FIN. FLR.
15. ALL FRAMING DESIGNED IN ACCORDANCE TO 2012 IRC.
16. 2x6's AT ALL SLOPED CEILINGS
17. DOUBLE JOISTS AT A/C PLATFORMS
18. ROOF BRACES NOT TO BEAR ON CEILING JOISTS.

GENERAL NOTES:

1. NO CHANGES SHALL BE MADE WITHOUT APPROVAL FROM PLAN REVIEW.
2. WALLS OF GARAGE SHALL BE 1 HOUR FIRE RATED ASSEMBLY INCLUDING CEILINGS (2 STORY) & COMMON WALL TO LIVING AREAS IF 1 STORY.
3. MIN R-13 INSULATION UNDER FLOOR OVER GARAGE AREA (2 STORY).
4. SAFETY GLASS IN ALL SHOWER DOORS AND TUBS.
5. SAFETY GLASS IN DOORS IF GREATER THAN 3" DIA OR WITHIN 2' OF DOOR OPENING.
6. HALF WALLS AT STAIRS 42" H. MIN.
7. HAND RAILS TO BE 34" - 36" ABOVE STAIR NOSINGS & GUARD RAILS AT 36" MIN.
8. MIN. 5.7 SQ. FT. AREA FOR SECONDARY EXIT FROM A BEDROOM WITH MIN. DIM. OF 20' HORIZ. & 24" VERT.
9. FIREPLACE MIN 20" HEARTH PLUS 20" IN FRONT OF AND 12" EACH SIDE OF OPENING IF 6 SQ. FT. OR MORE.
10. ROOF/FLOOR/CEILING CONSTRUCTION SHALL COMPLY WITH 2012 IRC OR HAVE ENG. SPEC. ON SITE FOR INSPECTOR'S REVIEW.
11. FOUNDATION CONSTRUCTION SHALL COMPLY WITH CHAPTER 4 CABO OR HAVE ENG. SPEC. ON SITE FOR INSPECTOR'S REVIEW.
12. ATTIC HVAC UNITS SHALL BE LOCATED WITHIN 20' OF ITS SERVICE OPENING.
13. R/A OPENINGS SHALL BE LOCATED MIN 10' FROM ANY GAS FIRED APPLIANCE OR ITS ENCLOSURE'S OPENING.



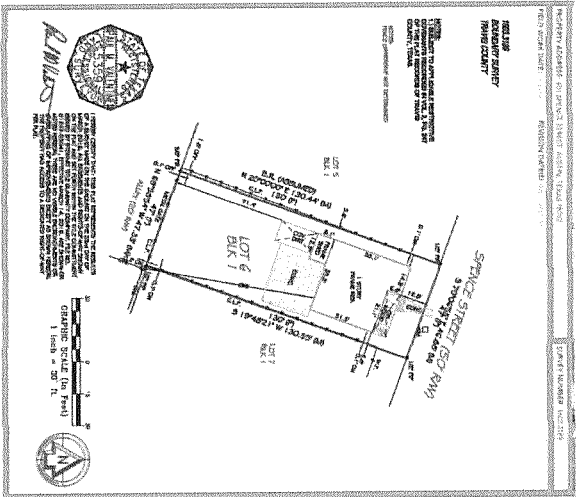
1 Site Plan - Large Scale
1/8" = 1'-0"

GENERAL NOTES:

- 2012 INTERNATIONAL RESIDENTIAL CODE ANALYSIS
1. PRESSURE TREATED WOOD FASTENERS SHALL BE HOT DIPPED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER ONLY AS PER SECTION R303.3
2. ALL STAIRS/STEPS WITH A MINIMUM OF TWO RISERS SHALL HAVE HANDRAILS AS PER SECTION R315. (MIN. TREED DEPTH OF 10" MAX RISER HEIGHT OF 7 3/4" AS PER SECTION R314.2)
3. SHALL HAVE THE REQUIRED LIGHTING AS SHOWN ON THE PLANS AT EACH LANDING OF A STAIRWAY AS PER SECTION R303.4 WITH LIGHT ACTIVATION AT THE TOP AND BOTTOM LANDING AS PER SECTION R303.4.1.
4. SMOKE DETECTORS (ALARMS) SHALL BE HARD WIRED IN SERIES WITH BATTERY BACKUP POWER AS PER SECTION R317.
5. MASONRY VENEER ANCHORAGE SHALL BE PROVIDED AT A MAXIMUM SPACE OF 24" O.C. HORIZONTALLY. ANCHORAGE SHALL SUPPORT NO MORE THAN 3.25 SF OF WALL AREA AS PER SECTION R708.7.4.1.
6. WEEP HOLES SHALL BE SPACED AT A MAXIMUM OF 33" O.C. AS PER SECTION R703.7.6
7. UNDER THE NEW CODES WE ARE REQUIRED TO RUN OUR TRUSSES WITH THE NEW 90 MPH WIND SPEED AT A 3 SECOND GUST WIND AS PER SECTION R301.2.1 AND TABLE R301.2(4).

OPENING	HEADER SIZE	CABINET BLOCKING (CONC. FLR TO BOTTOM OF BLOCK)
3 (MAX) 2-2x6's		VANITY 26/32"
4 (MAX) 2-2x8's		WALL 55" & 80.5"
5 (MAX) 2-2x10's		BASE 32"
6 (MAX) 2-2x12's		
ABOVE 8" ENGD BEAM		

220V/GAS PER SPECS @ W.H., A.C., RANGE & DRYER



AREA CALCULATIONS

Item	Existing Sq footage - bldg	Existing Sq footage - impervious - bldg	Existing sq footage - impervious - 2nd floor (FAR)	Proposed ADDITIONAL sq footage - bldg - impervious	Proposed ADDITIONAL sq footage - impervious (FAR)	Proposed ADDITIONAL sq footage - 2nd floor (FAR)	Proposed ADDITIONAL sq footage - impervious (FAR)
Front Porch	141	69					
Sidewalk	36	655					
Storage/Utility	180						
Open shed							
Adm. Deck driveway							
New covered deck							
Back fence deck							
Driveway split for back							
Additional driveway area							
TOTALS	1204	417	724	0	716	57	291
Impervious %	13.6%	6.8%	11.9%	0.0%	11.6%	4.9%	4.7%

LOT SIZE	Limit
Total	44.3%
Total bldg	40%
Impervious	40%
FAR	40%



Bob Thomas,
NCARB
bthomas@yahoo.com

30418 Briarcliff Dr.
Georgetown, TX 78628
512-635-0621

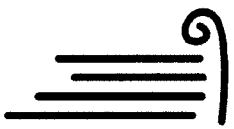
LOVED HOMES
901 Spence
Condo Austin, TX

Revisions

No.	Date	Description
1		
2		
3		
4		

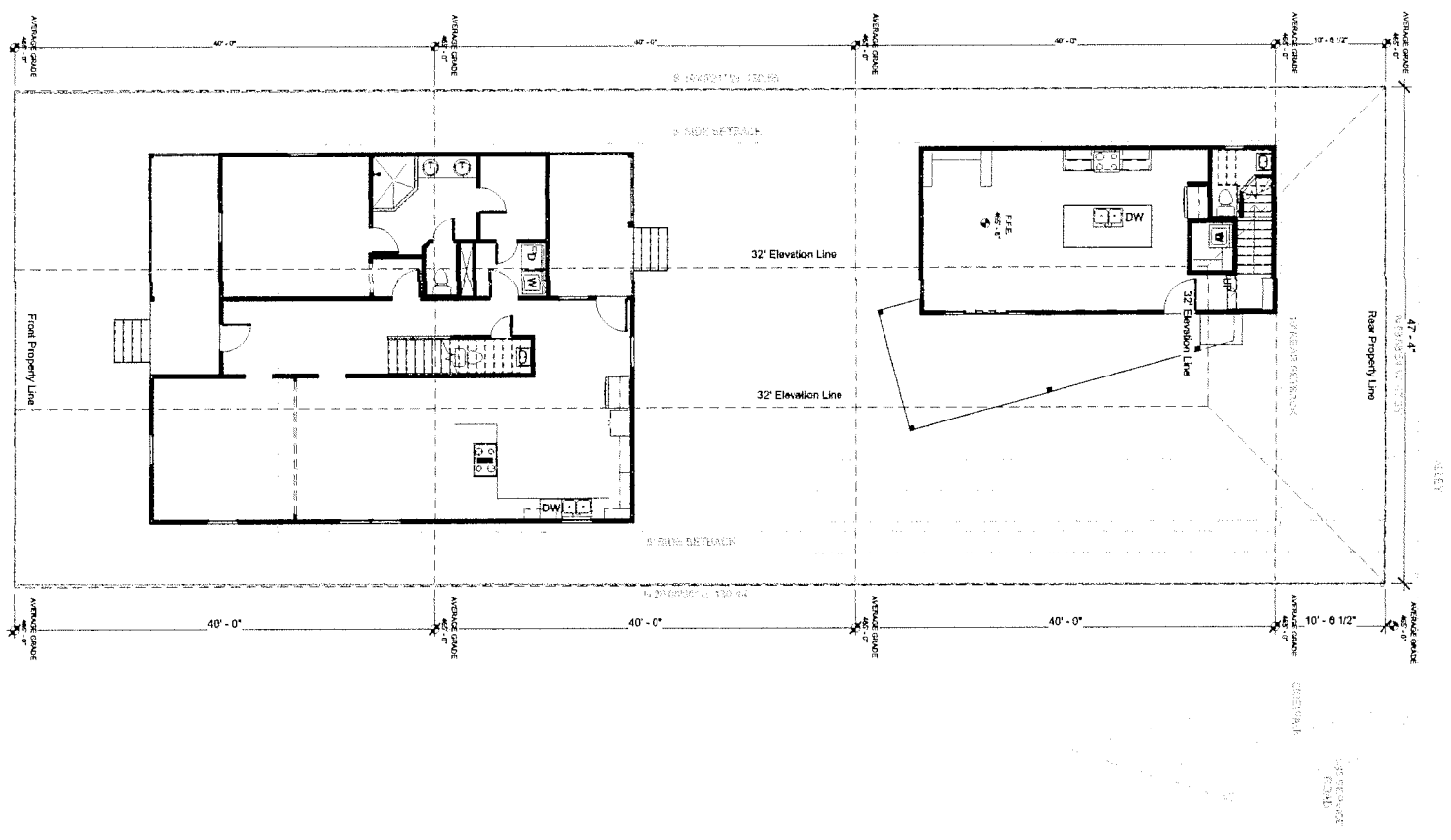
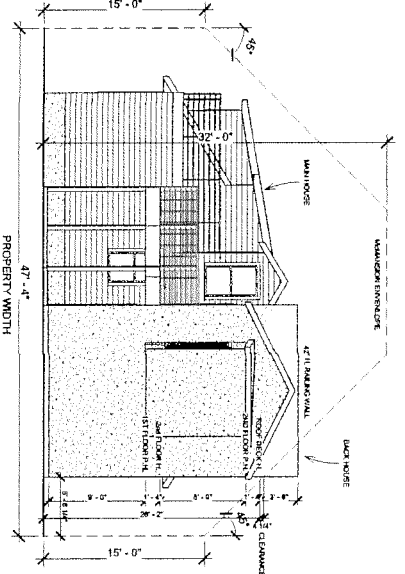
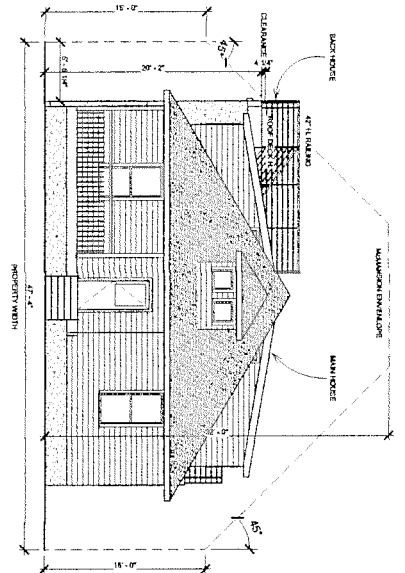
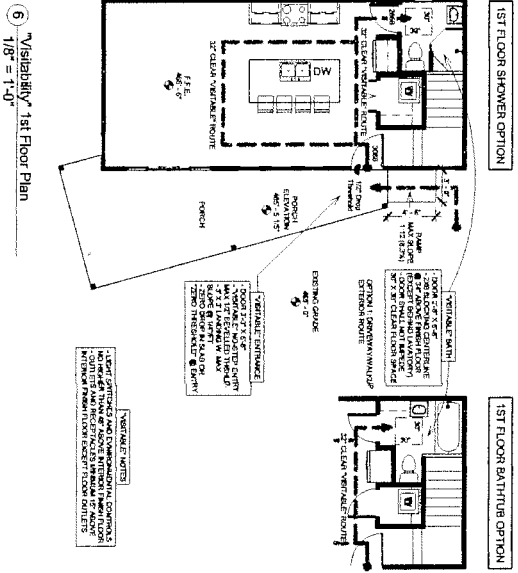
Sheet Name
Site Plan

Sheet No.
A01

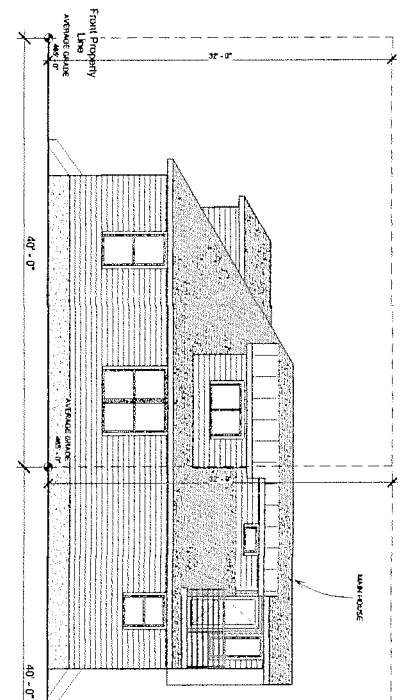


Bob Thomas,
NCARB
bthomas@jphd.com

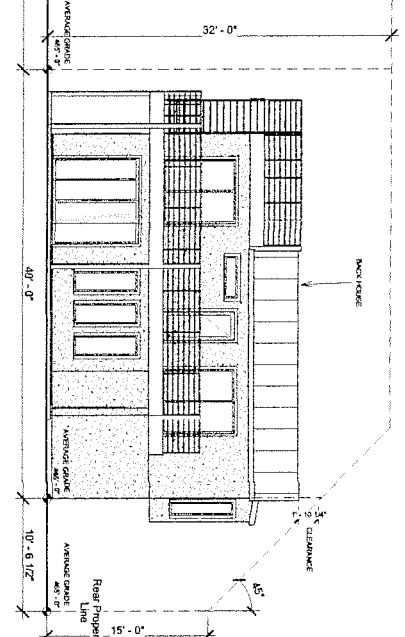
30418 Briarcrest Dr.,
Georgetown, TX 78628
512-635-0621



3 Site Plan - McMansion Tent
1/8" = 1'-0"



2 McMansion Side Elevation
1/8" = 1'-0"



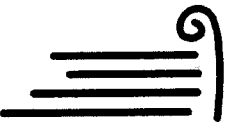
5 McMansion Rear Elevation
1/8" = 1'-0"

1 McMansion Front Elevation
1/8" = 1'-0"

A04

Revisions	
No.	Date Description
1	
2	
3	
4	
File: 3	
Scale: 1/8" = 1'-0"	
By: SRE	
Date: 10/06/16	
Sheet Name: McMansion & "Visibility" Plans	
Sheet No.	

LOVED HOMES
901 Spence
Condo Austin, TX



Bob Thomas,
NCARB

brthomas@bthomas.com

30418 Bhargava Dr.
Georgetown, TX 78628
512-635-0621

LOVED HOMES
901 Spence
Condo Austin, TX

Revisions

No.	Date	Description
1		
2		
3		
4		

File: 3

Scale: 1/8" = 1'-0"

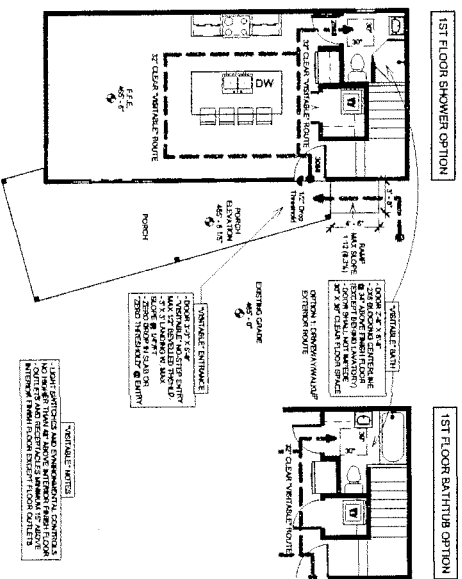
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Date: 10/06/16

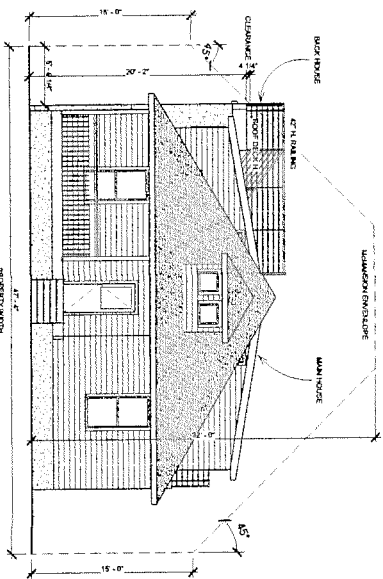
Sheet Name
McMansion &
"Visiblity" Plans

Sheet No.

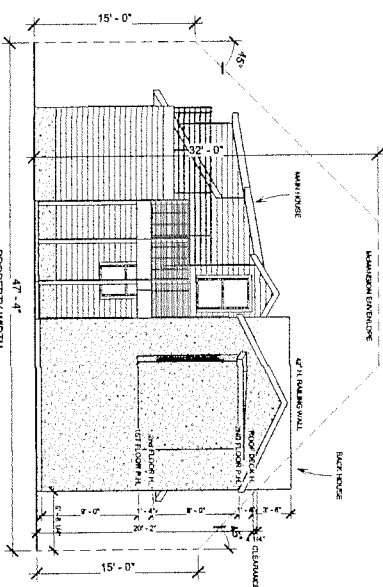
A04



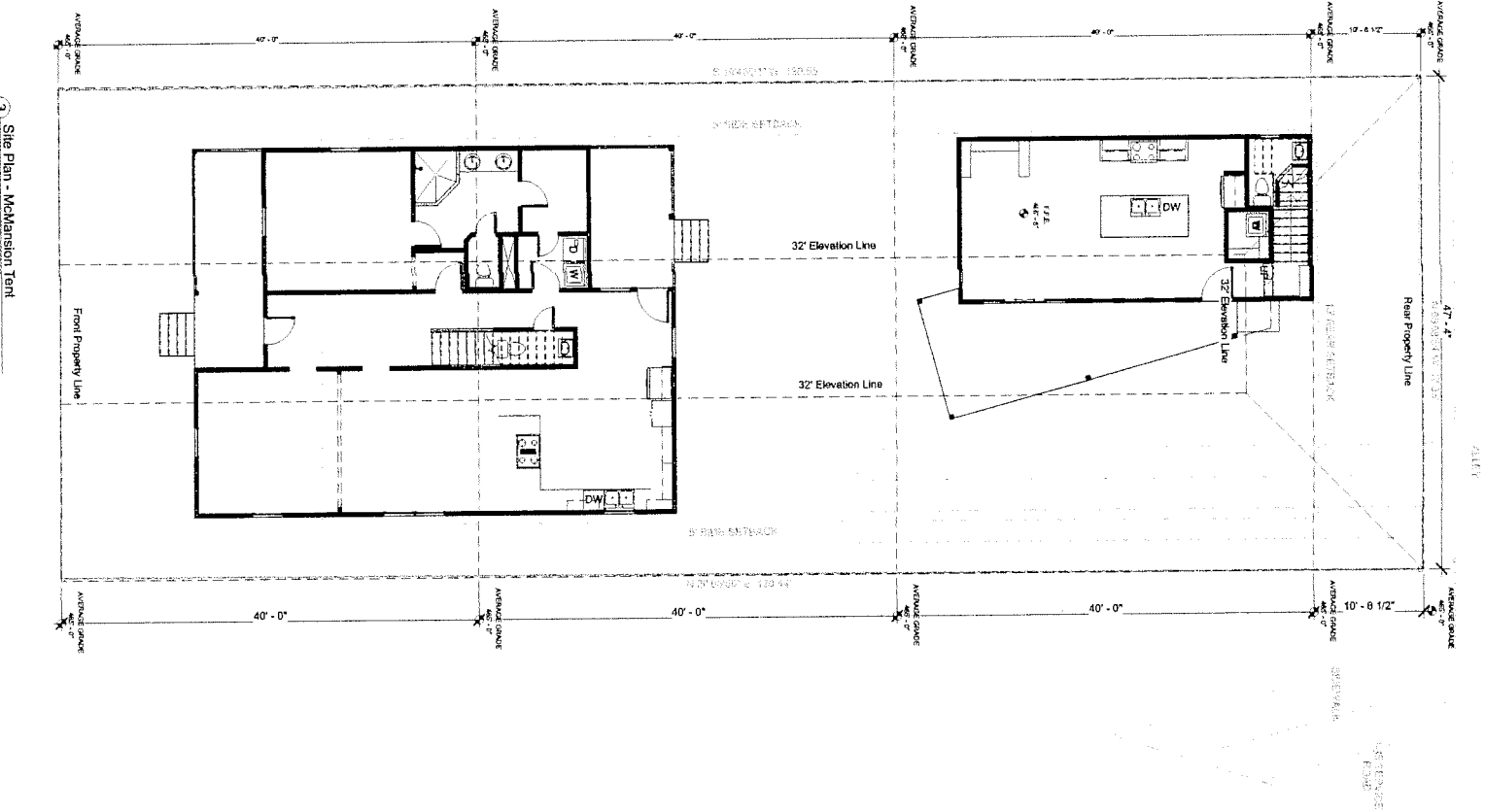
6 Visiblity 1st Floor Plan
1/8" = 1'-0"



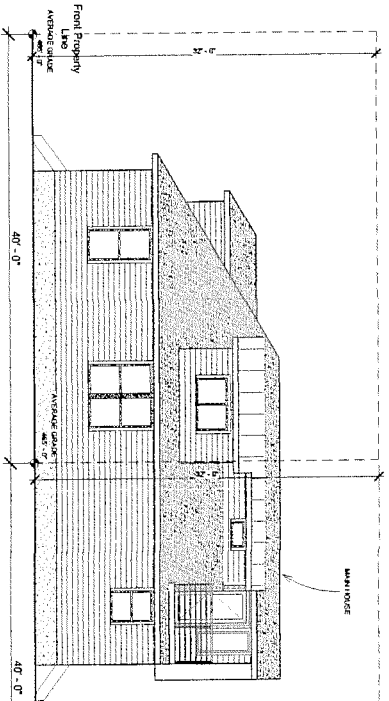
1 McMansion Front Elevation
1/8" = 1'-0"



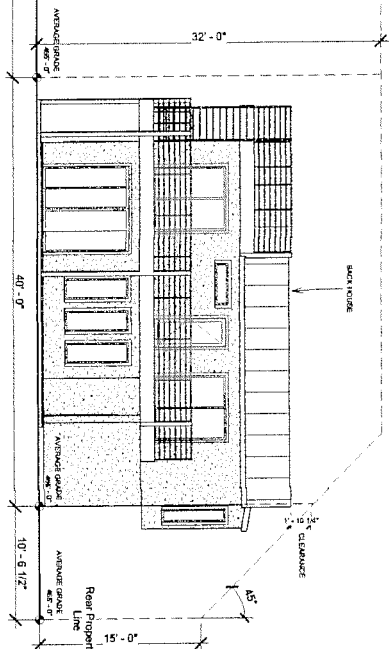
5 McMansion Rear Elevation
1/8" = 1'-0"



3 Site Plan - McMansion Tent
1/8" = 1'-0"



2 McMansion Side Elevation
1/8" = 1'-0"



2 McMansion Side Elevation
1/8" = 1'-0"

901 Spence St. Condo

Austin, Texas 78702

PROJECT LOCATION: 901 Spence St.
Austin, TX 78702

SCOPE: Two (2)
NUMBER OF FLOORS: Heated Area: 1,027 SF
SQUARE FOOTAGE/ OCCUPANT LOAD
BUILDING CODE: 2012 International Residential Code
OCCUPANCY TYPE: Single Family
CONSTRUCTION TYPE: Conventional
ZONING: Residential

Project Information

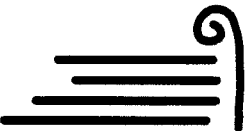
General Notes

YOUR LOVED HOME SOLUTIONS Inc.
Dimitri Hammond - 512-922-0930
dimitri@lovedhomes.com

Builder

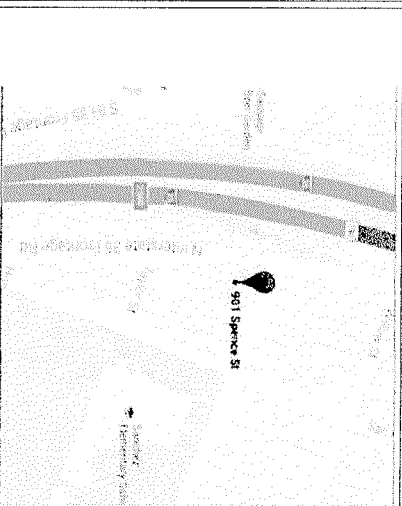
Bob Thomas, NCARB
30418 Briarcrest Dr.
Georgetown, TX 78628
512-635-0621
bob.thomas.1961@gmail.com

Architect



Sheet Number	Sheet Name
A00	Cover Sheet
A01	Site Plan
A02	Dimension & Electrical Plans
A03	Elevations & Interior Details
A04	McMansion & "Visitability" Plans
A05	Framing Details & Specs

Sheet Index



Vicinity Map Austin, TX



Bob Thomas,
NCARB
bthomas@bthoma.com

30418 Briarcrest Dr.
Georgetown, TX 78628
512-635-0621



9/8/16

LOVED HOMES
901 Spence
Condo Austin TX

Revisions		
No.	Date	Describe

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Date: 8/23

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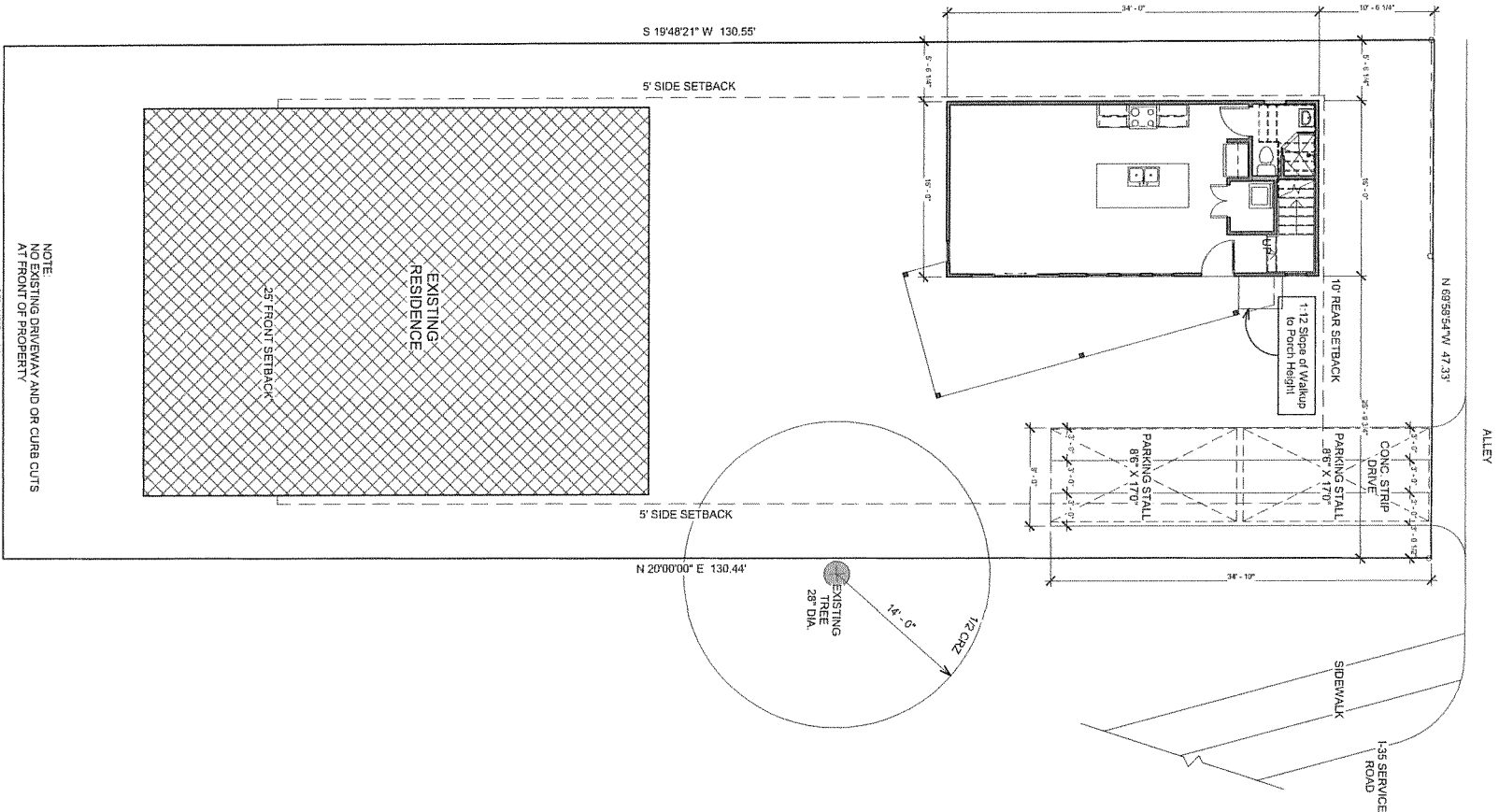
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GENERAL FRAMING NOTES:

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR SAME.
2. FRAMING PLANS ARE BASED ON #2 S.Y. PINE WITH E = 1.6M AND F = 1500 PSI. 40 PSI LIVE LOAD FLOORS, 20 PSI LIVE LOAD ROOFS.
3. INSULATION AND VENTILATION OF FLOOR AND CRAWL SPACE (IF ANY) AND ATTIC SPACE TO LOCAL CODE.
4. ALL STUD WALLS TO BE 2X4 NOMINAL @ 16" O.C. WITH HEIGHT AS PER ELEVATION NOTES PER PLATE HEIGHT UNLESS OTHERWISE NOTED. SUCH AS WET WALL LOCATIONS TO BE 2X6 NOMINAL AS SHOWN PER PLANS.
5. SECOND FLOOR FRAMING MINIMUM 14" DEEP NOMINAL OPEN ENGINEERED TRUSS @ 16" O.C.
6. DOUBLE FLOOR JOISTS UNDER WALLS PARALLEL TO JOISTS
7. BRIDGING/BLOCKING AT MIDSPAN MIN., 8'-0" MAX FOR FLOOR AND CEILING JOIST/TRUSSES.
8. 2x6 RAFTERS @ 24" O.C. W. 2x6 CONT. PURLINS @ MIDSPAN OF RAFTERS OR 11'-6" MAX (8'-6" FOR 40#S.F. L.L. & D.L.) EXCEPTIONS TO INCLUDE 2x8 RAFTERS WHERE CEILING JOISTS FRAME INTO RAFTERS
9. CEILING JOISTS TO BE 2x8 @ 24" O.C. UNLESS OTHERWISE NOTED.
10. 2x6 COLLAR TIES @ 4' O.C.
11. 2x4 (MIN) STRUTS @ 48" O.C. FROM PURLINS TO BEARING WALLS @ 45 DEGREE MIN. ANGLE.
12. RIDGES, VALLEYS, HIPs TO BE 2x8s OR FULL VERTICAL DEPTH OF FRAMING MEMBERS.
13. ADDITIONAL BRACING REQUIRED FOR 23 SPANS AND ABOVE
14. MAX. SILL HGT. @ BDRM. WDWS. TO BE 43" FROM FIN. F.L.R.
15. ALL FRAMING DESIGNED IN ACCORDANCE TO 2012 IRC.
16. 2x8s AT ALL SLOPED CEILINGS
17. DOUBLE JOISTS AT A/C PLATFORMS
18. ROOF BRACES NOT TO BEAR ON CEILING JOISTS.

GENERAL NOTES:

1. NO CHANGES SHALL BE MADE WITHOUT APPROVAL FROM PLAN REVIEW.
2. WALLS OF GARAGE SHALL BE 1 HOUR FIRE RATED ASSEMBLY INCLUDING CEILINGS (2 STORY) & COMMON WALL TO LIVING AREAS IF 1 STORY.
3. MIN R-13 INSULATION UNDER FLOOR OVER GARAGE AREA (2 STORY).
4. SAFETY GLASS IN ALL SHOWER DOORS AND TUBS.
5. SAFETY GLASS IN DOORS IF GREATER THAN 3" DIA OR WITHIN 2' OF DOOR OPENING.
6. HALF WALLS AT STAIRS 42" H. MIN.
7. HAND RAILS TO BE 34" - 36" ABOVE STAIR NOSINGS & GUARD RAILS AT 36" MIN.
8. MIN. 5.7 SQ. FT. AREA FOR SECONDARY EXIT FROM A BEDROOM WITH MIN. DIM. OF 20" HORIZ. & 24" VERT.
9. FIREPLACE MIN 20" HEARTH PLUS 20" IN FRONT OF AND 12" EACH SIDE OF OPENING IF 6 SQ. FT. OR MORE.
10. ROOF/FLOOR/CEILING CONSTRUCTION SHALL COMPLY WITH 2012 IRC OR HAVE ENG. SPEC. ON SITE FOR INSPECTOR'S REVIEW.
11. FOUNDATION CONSTRUCTION SHALL COMPLY WITH CHAPTER 4 CABO OR HAVE ENG. SPEC. ON SITE FOR INSPECTOR'S REVIEW.
12. ATTIC HVAC UNITS SHALL BE LOCATED WITHIN 20' OF ITS SERVICE OPENING.
13. R/A OPENINGS SHALL BE LOCATED MIN 10" FROM ANY GAS FIRED APPLIANCE OR ITS ENCLOSURE'S OPENING.



1 Site Plan - Large Scale
1/8" = 1'-0"

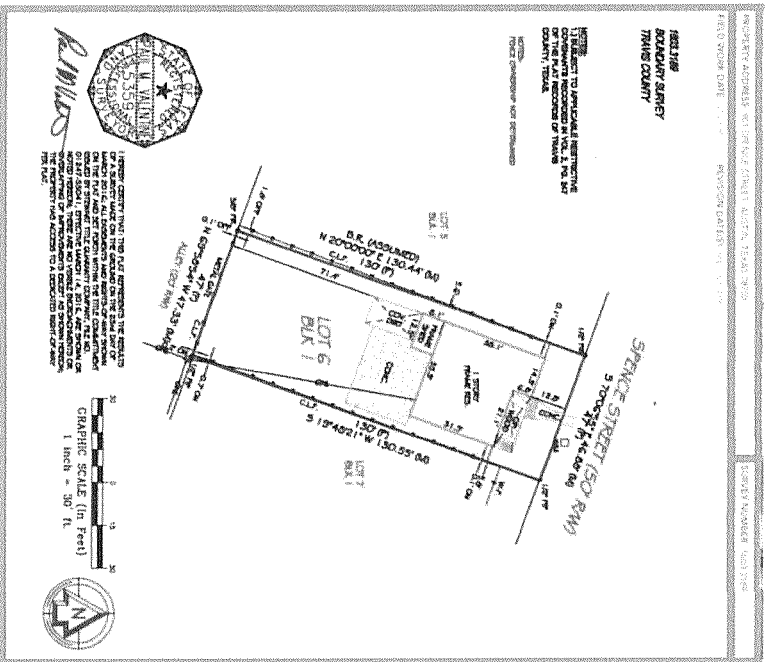
GENERAL NOTES:

- 2012 INTERNATIONAL RESIDENTIAL CODE ANALYSIS
1. PRESSURE TREATED WOOD FASTENERS SHALL BE HOT DIPPED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER ONLY AS PER SECTION R323.3.
2. ALL STAIRS/STEPS WITH A MINIMUM OF TWO RISERS SHALL HAVE HANDRAILS AS PER SECTION R315. (MIN. TREAD DEPTH OF 10" MAX. RISER HEIGHT OF 7 3/4" AS PER SECTION R314.2)
3. SHALL HAVE THE REQUIRED LIGHTING AS SHOWN ON THE PLANS AT EACH LANDING OF A STAIRWAY AS PER SECTION R303.4 WITH LIGHT ACTIVATION AT THE TOP AND BOTTOM LANDING AS PER SECTION R303.4.1.
4. SMOKE DETECTORS (ALARMS) SHALL BE HARD WIRED IN SERIES WITH BATTERY BACKUP POWER AS PER SECTION R317.
5. MASONRY VENEER ANCHORAGE SHALL BE PROVIDED AT A MAXIMUM SPACE OF 24" O.C. HORIZONTALLY. ANCHORAGE SHALL SUPPORT NO MORE THAN 3.25 SF OF WALL AREA AS PER SECTION R708.7.4.1. WEEP HOLES SHALL BE SPACED AT A MAXIMUM OF 33" O.C. AS PER SECTION R703.7.6.
6. UNDER THE NEW CODES WE ARE REQUIRED TO RUN OUR TRUSSES WITH THE NEW 90 MPH WIND SPEED AT A 3 SECOND GUST WIND AS PER SECTION R301.2.1 AND TABLE R301.2(4).

OPENING - HEADER SIZE	CABINET BLOCKING (CONC. FLR. TO BOTTOM OF BLOCK VANITY 26"132" WALL 55" & 80.5" ABOVE 8" ENGD BEAM 32"
3" (MAX) 2-2x6s	
4" (MAX) 2-2x8s	
5" (MAX) 2-2x10s	
8" (MAX) 2-2x12s	
ABOVE 8" ENGD BEAM	

220V/GAS PER SPECS @ W.H. A.C. RANGE & DRYER

SITE PLAN SPECIFICATIONS	
PROPERTY AREA	6,147 sf
TTL FRONT HOUSE FOOTPRINT	1,627 sf
TTL BACK HOUSE FOOTPRINT	694 sf
DRIVE & WALKUP	562 sf
TTL IMPERVIOUS AREA	2,883 sf
PERCENT IMP. AREA	46.9%



Bob Thomas,
NCARB
bthomas@bthomas.com

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512-635-0621



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LOVED HOMES

901 Spence
Condo Austin, TX

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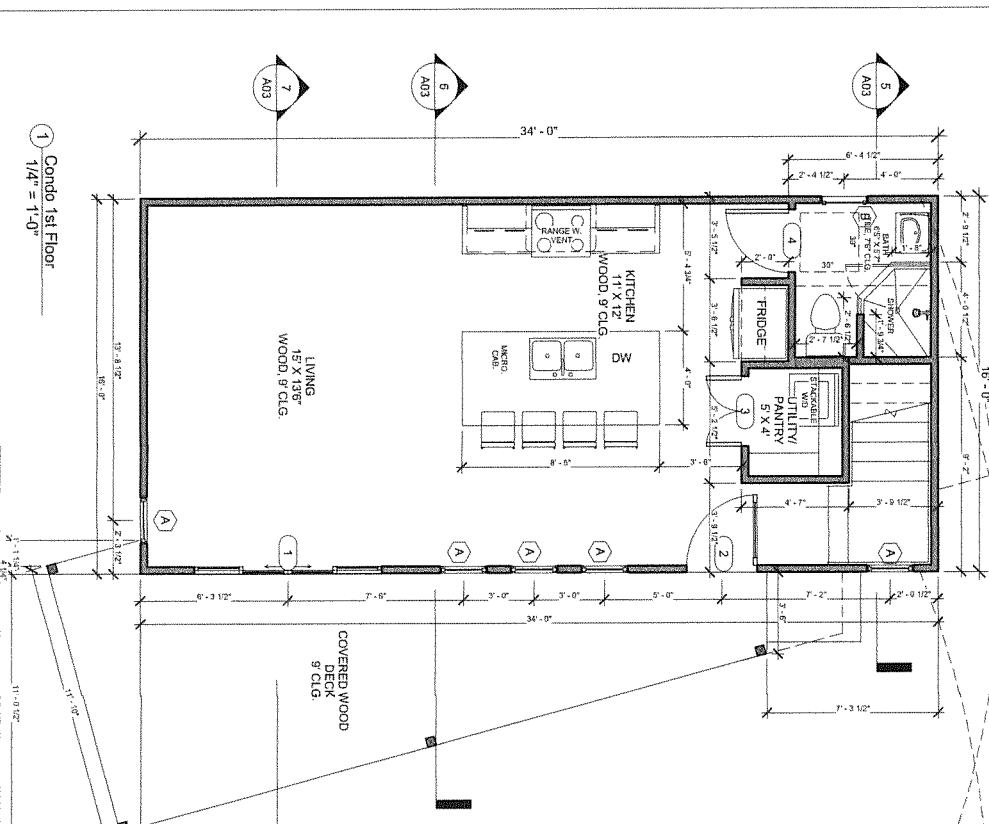
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**Dimension &
Electrical Plans**

Sheet No. _____

Door Schedule		
Door Number	Width	Height
1	8'-0"	8'-0"
2	3'-0"	8'-0"
3	3'-0"	6'-8"
4	2'-8"	6'-8"
5	2'-8"	6'-8"
6	2'-0"	6'-8"
7	6'-0"	6'-8"
8	2'-8"	6'-8"
9	2'-3"	6'-8"
10	2'-8"	6'-8"
11	2'-3"	6'-8"
12	3'-0"	6'-8"
13	6'-0"	6'-8"
82	2'-8"	6'-8"
83	2'-8"	6'-8"

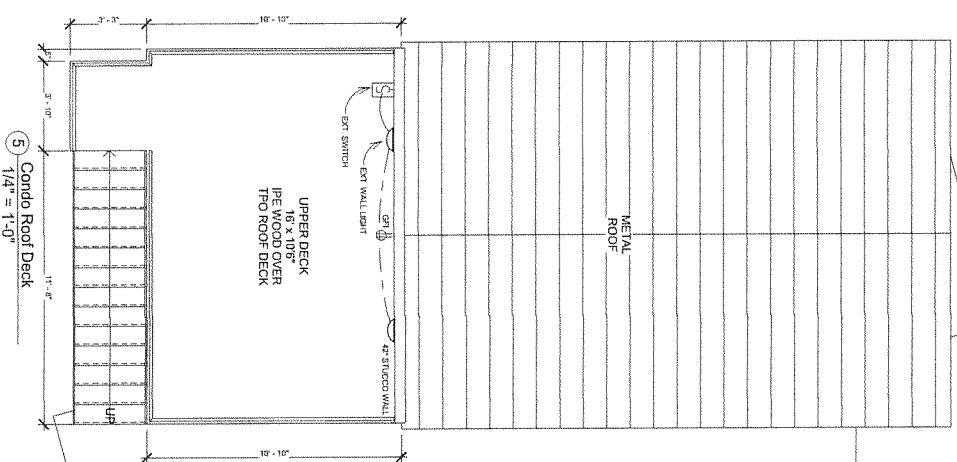


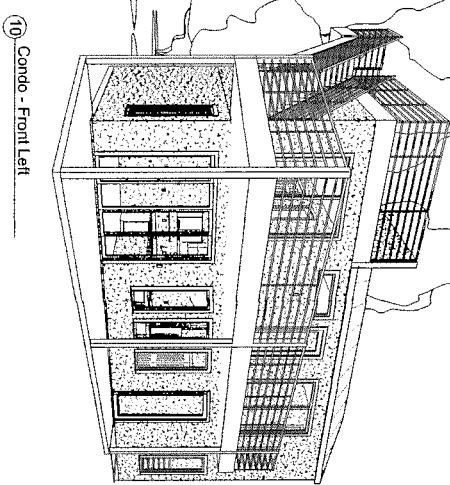
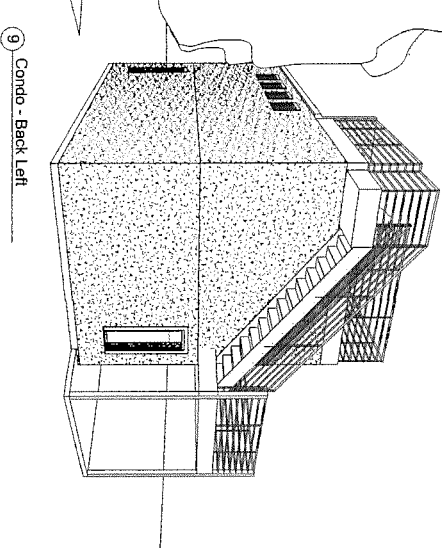
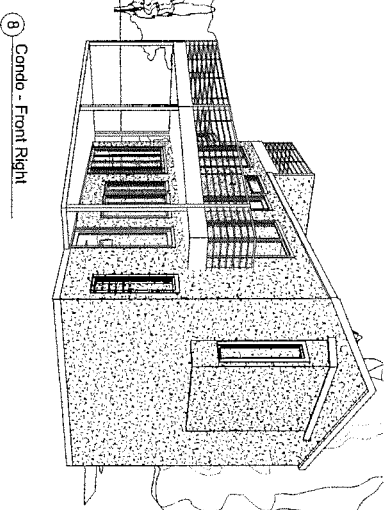
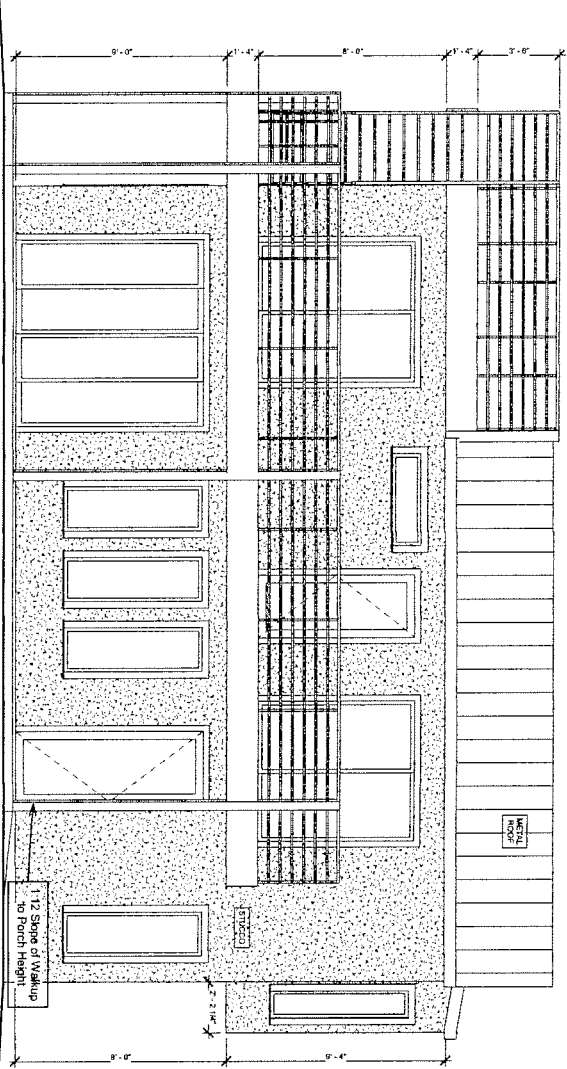
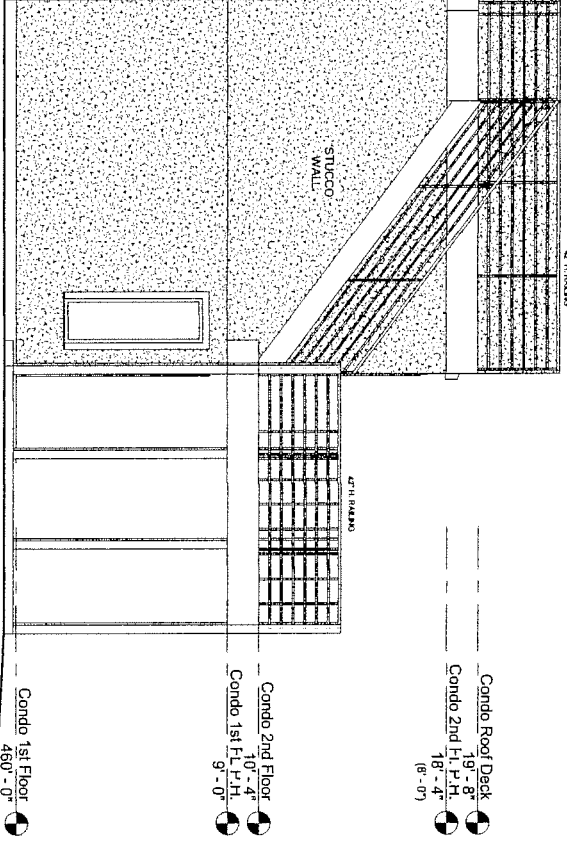
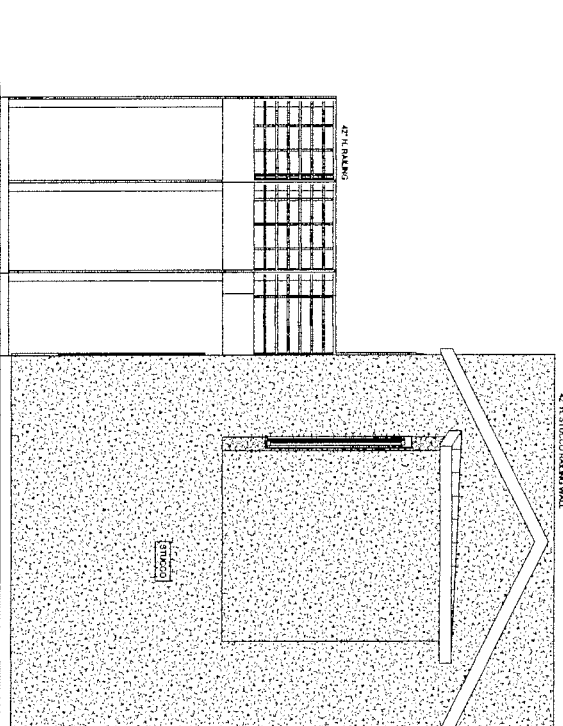
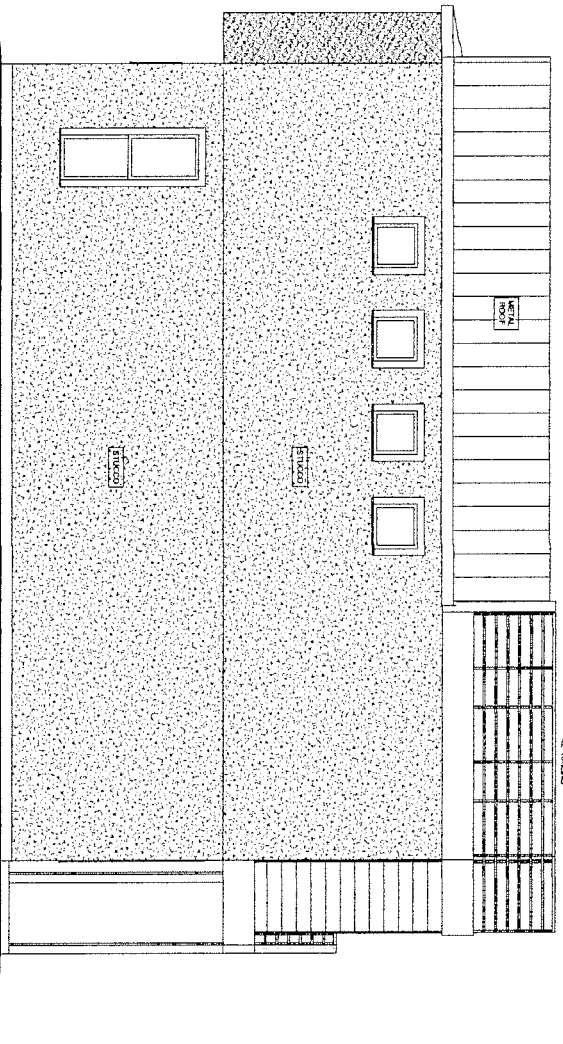
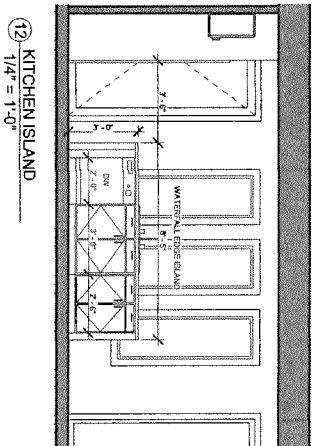
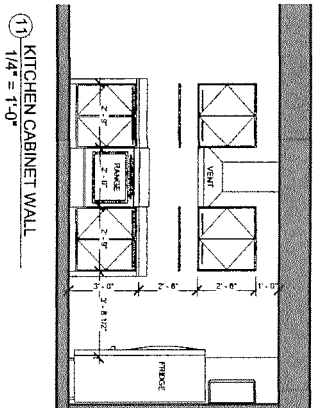
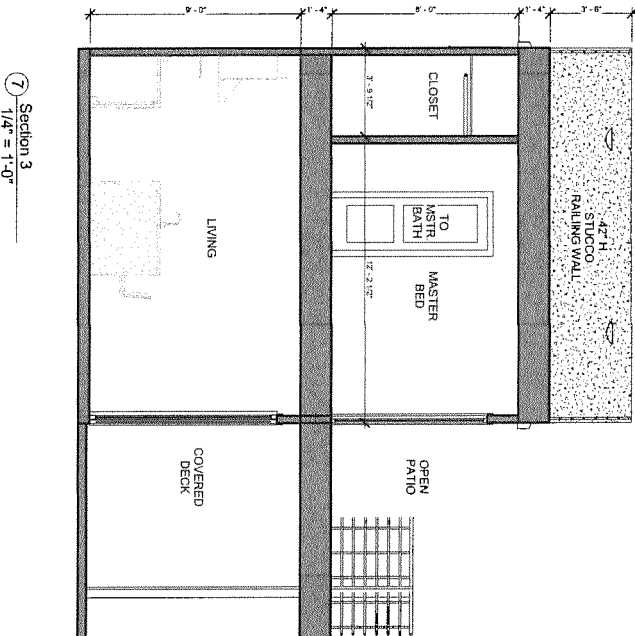
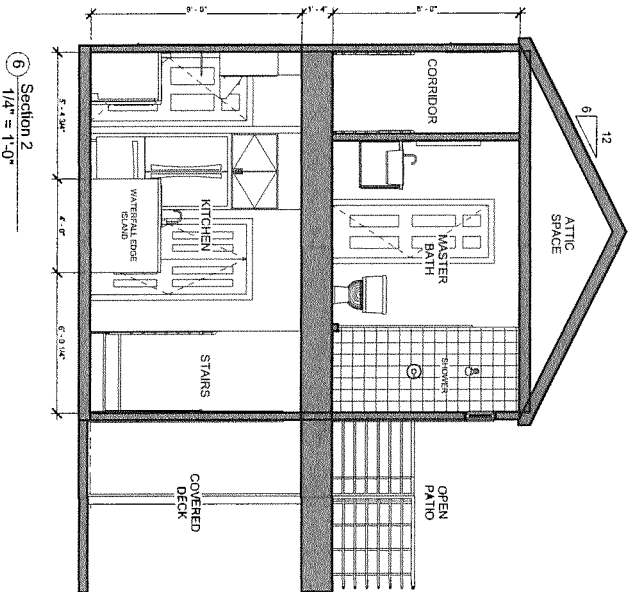
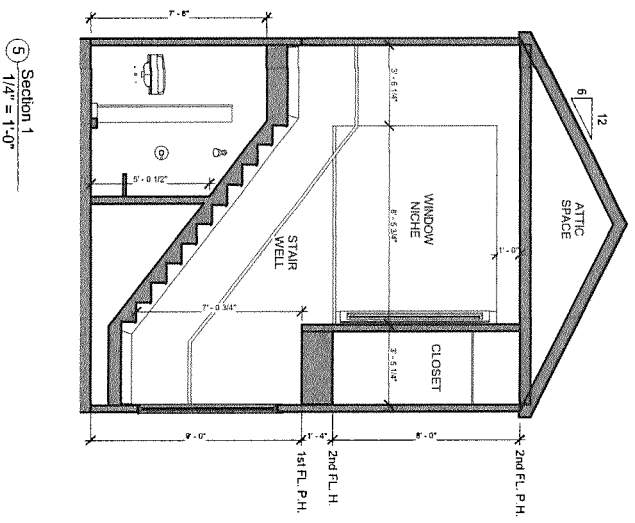
NOTES
BATHROOM LAYOUTS PER 2012 IRC SEC. R307.1
GENERAL CONTRACTOR SHALL VERIFY FOR SMOKE
DETECTORS TO BE LOCATED AT LEAST 7' AWAY
FROM ANY MECHANICAL AIRFLOW
PER 2007 NFPA 72 CH. 11
PROVIDE SMOKE ALARMS - HAND WIRED,
INTERCONNECTED BATTERY BACKUP AT EACH
SLEEPING UNIT. SMOKE DETECTORS TO BE PLACED
OUTSIDE OF SLEEPING ROOMS, IF APPLICABLE,
ON EACH ADDITIONAL STORY INCLUDING
BASEMENTS AND HABITABLE ATTICS IN
ACCORDANCE WITH 2012 IRC SEC R314
PROVIDE CARBON MONOXIDE ALARM - HAND WIRED
WITH BATTERY BACKUP, INSTALLED OUTSIDE OF EACH
SEPARATE SLEEPING AREA IN THE IMMEDIATE
VICINITY OF THE BEDROOMS IN DWELLING UNITS
INSTALLED AND/OR HAVE AN ATTACHED GARAGE.
IN ACCORDANCE WITH 2012 IRC SEC R315

☐ Electrical Symbol Legend
1/4" = 1'-0"

4 Condo 2nd Floor Electrical

1/4" = 1'-0"



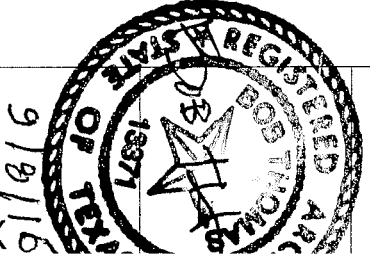


Exterior Finish Schedule		
AREA INFORMATION		
STUCCO WALL AREA	1,658 sf	
METAL ROOF AREA	452 sf	
TPO ROOF AREA	412 sf	

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A03

LOVED HOMES
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Condo Austin, TX



30418 Briarcrest Dr.
Georgetown, TX 78626
512-635-0621

Bob Thomas,
NCARB
bthomas@arbo.com





Bob Thomas,
NCARB
btomcsh@yahoo.com

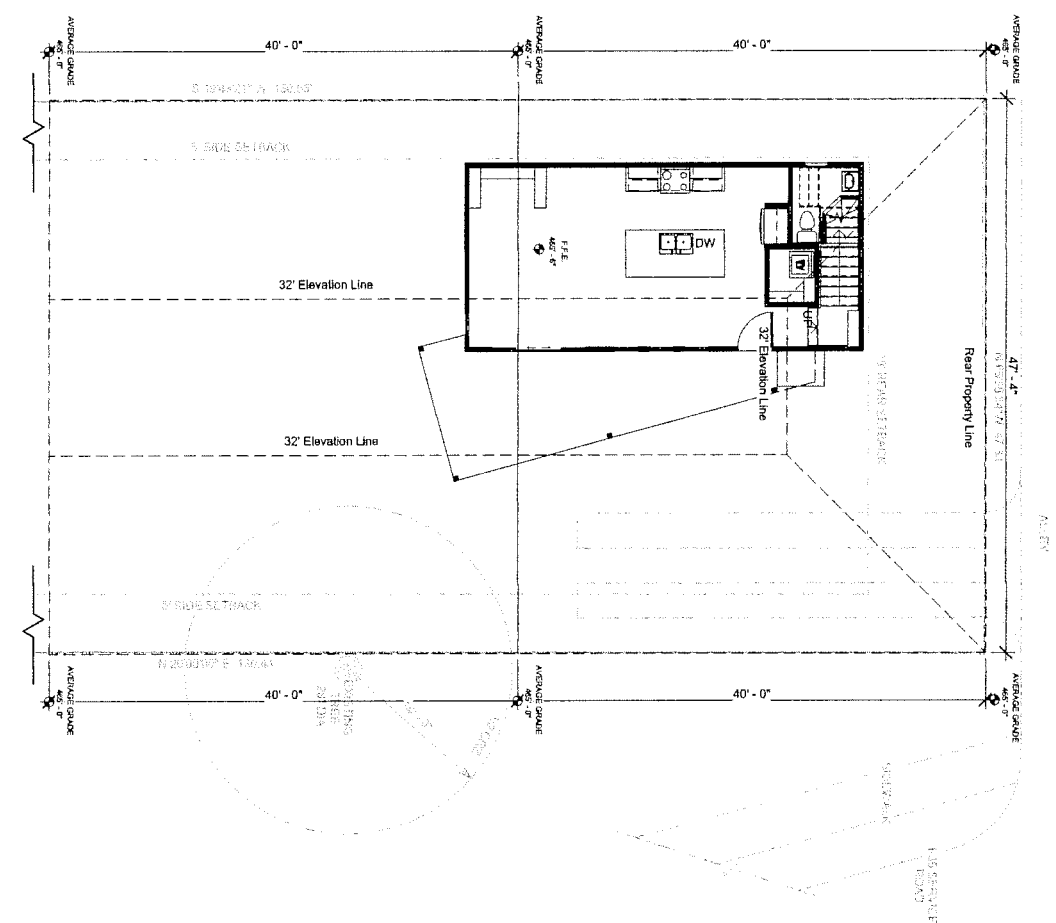
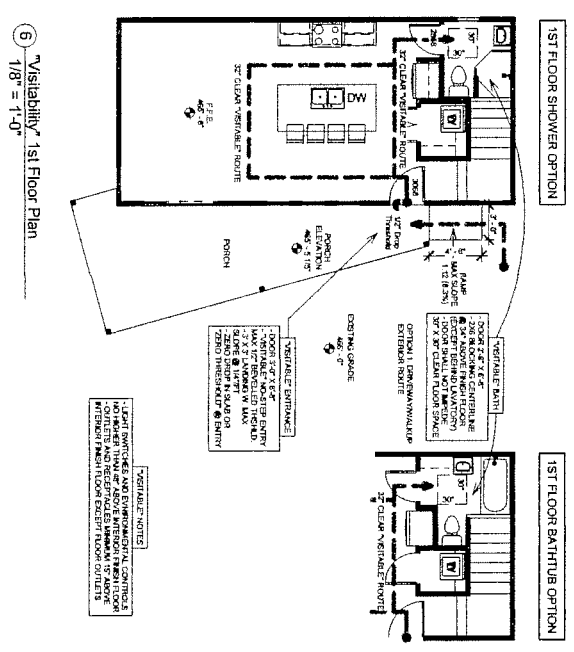
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A04



Area Information	
Gross Floor Area Calculations	
Gross Floor Area	1,027 sf
Exemptions (garages)	- 0 - sf
Total Gross Floor Area	1,027 sf
Property Area	6,147 sf
Percentage GFA to PA	16.7%

(*) - GROSS FLOOR AREA DOES NOT EXCEED MIN. 2,300 SF
THIS IS EXEMPT FROM PARK CALCULATIONS

